

Professional Home Inspections

PROPERTY PRO CHECKS HOME INSPECTIONS

281-254-2693

MMandala@propertyprochecks.com

<https://propertyprochecks.com>



PRE DRYWALL / FRAMING INSPECTION

1234 Main Street
Houston, TX 77099

Buyer Name

06/17/2025 9:00AM



Inspector

Miguel Mandala

24231

281-254-2693

MMandala@propertyprochecks.com



Agent

Agent Name


555-555-5555

agent@spectora.com

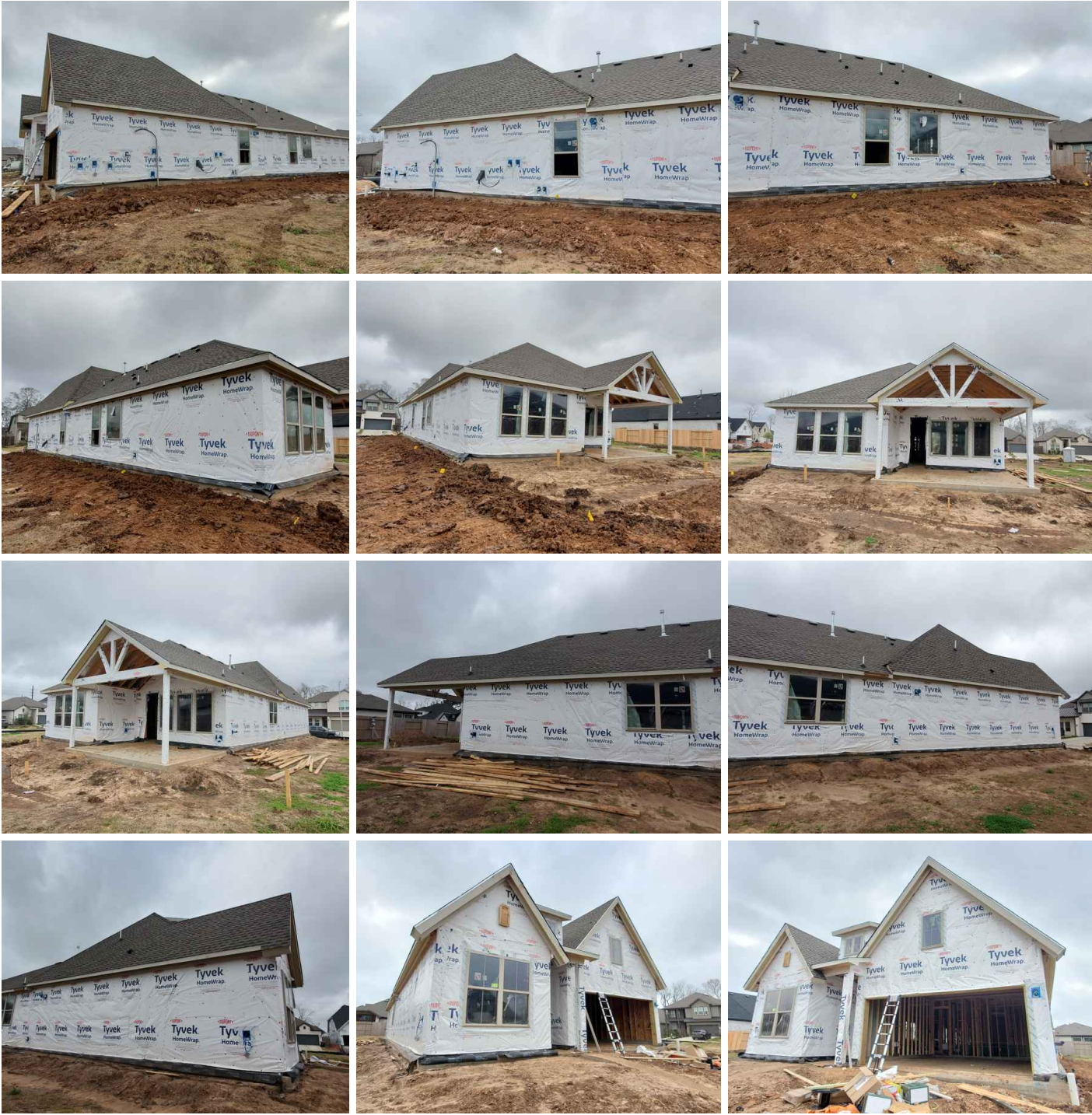
Please review the inspection report and let us know if you have any further questions. The Phase 2 (Pre-Drywall Framing) Inspection is the evaluation of structural components that are not yet substantially complete. This report has been prepared for our client in accordance with their requirements, and addresses the condition of the site, structure, and progress of work prior to the installation of drywall and insulation. The browser-based version uses advanced web features to allow for easier navigation and expanded photographs. The PDF menu on this webpage includes PDF version of the full report, as well as a summary, which may warrant further investigation by the builder. Please review all documents and attachments that were sent to you by the inspector. This report should be presented to the builder for review, who may determine that a particular item listed as deficient in the report does in fact comply with specifications set forth in the construction documents.

1: INSPECTION DETAILS

Information

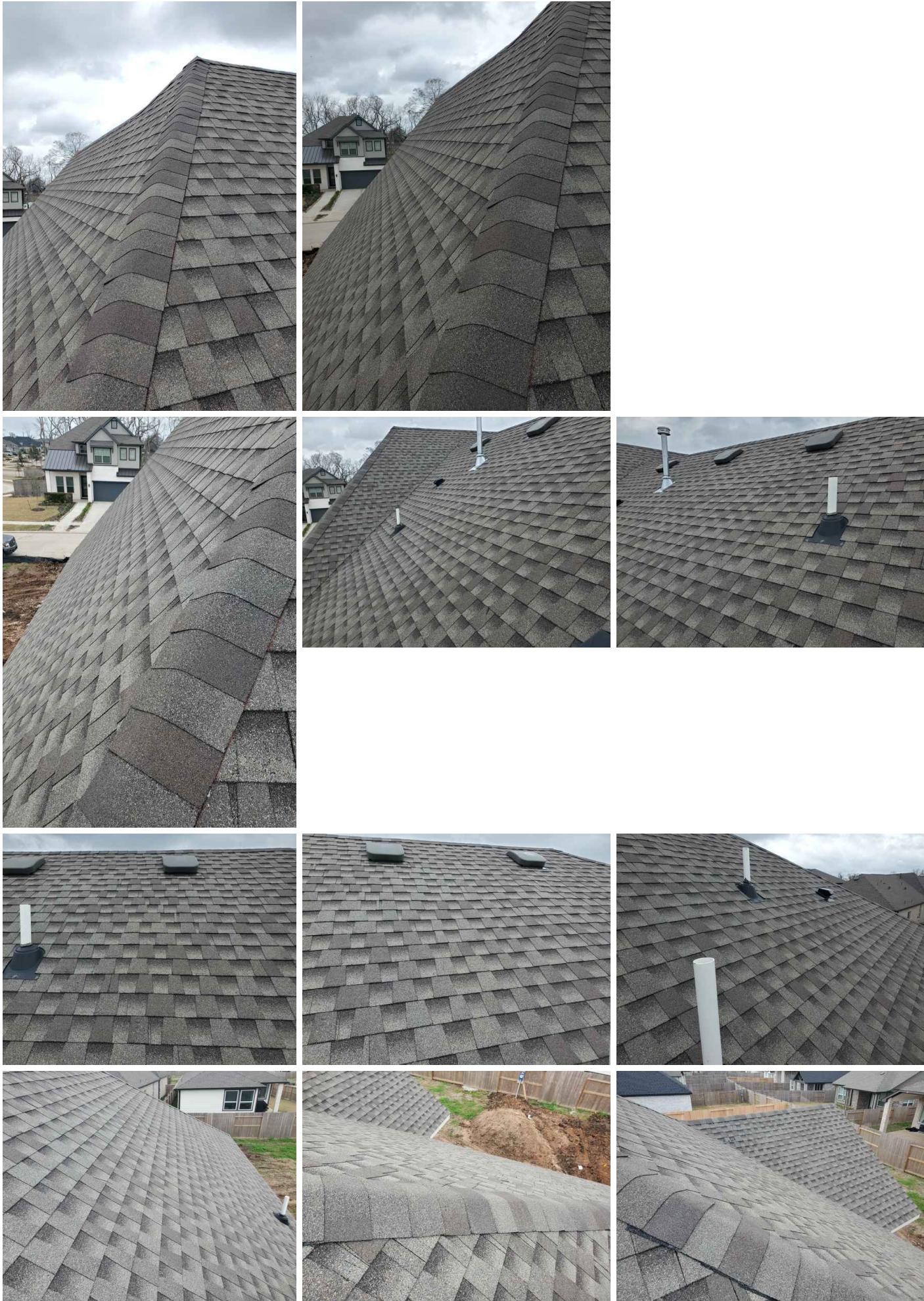
<div>In Attendance Client, Builder, And Inspector</div>	<div>Type of Home Single Family</div>	<div>Temperature (approximated) 72 °</div> <div></div>
<div>Weather Conditions Cloudy</div>	<div>Ground/Soil Condition Damp</div>	
<div>Blueprints not Reviewed Blue prints were not reviewed as part of this inspection. Plan review is not part of the scope of this inspection.</div>		

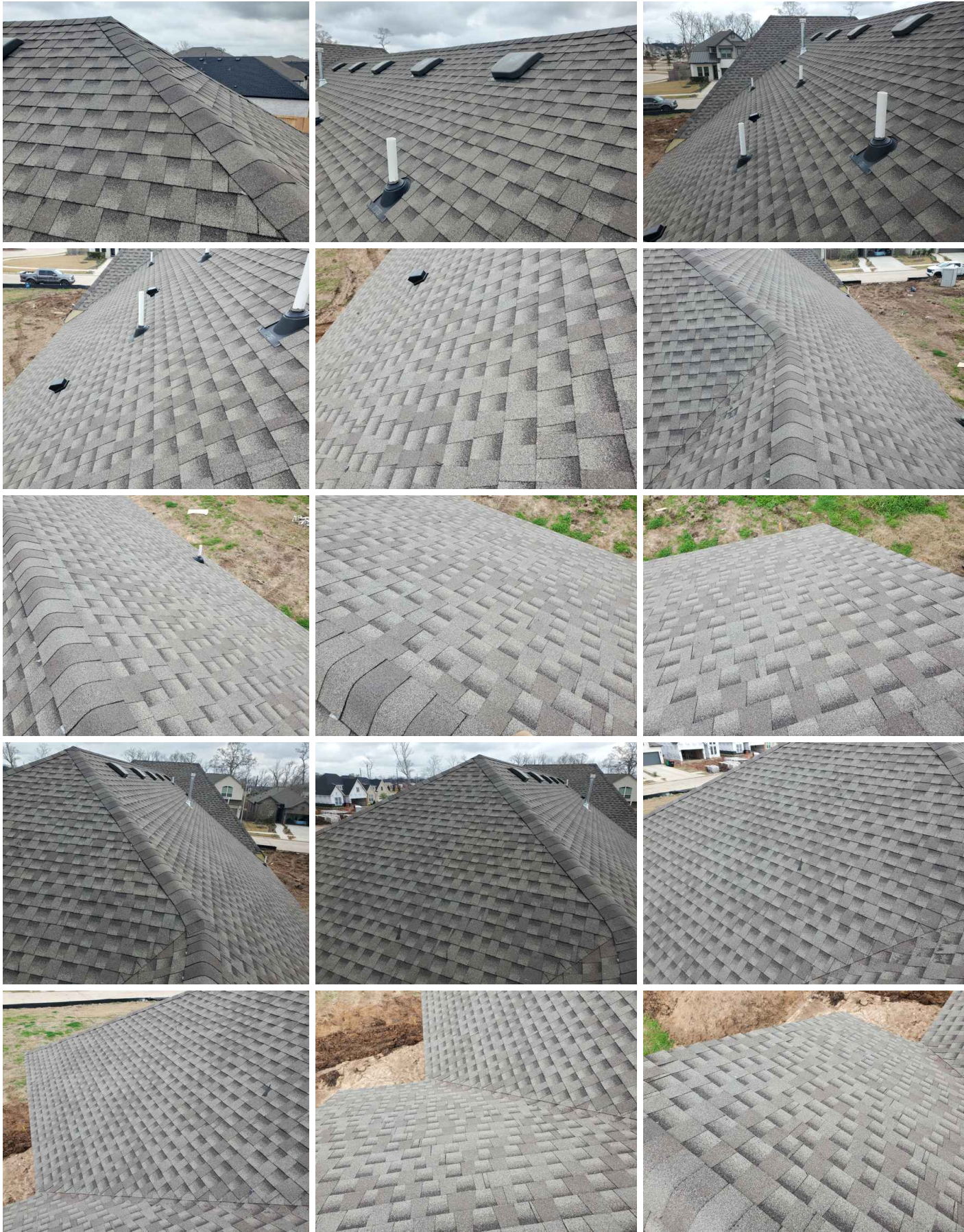
Exterior & Site



Roof Covering











Interior Framing

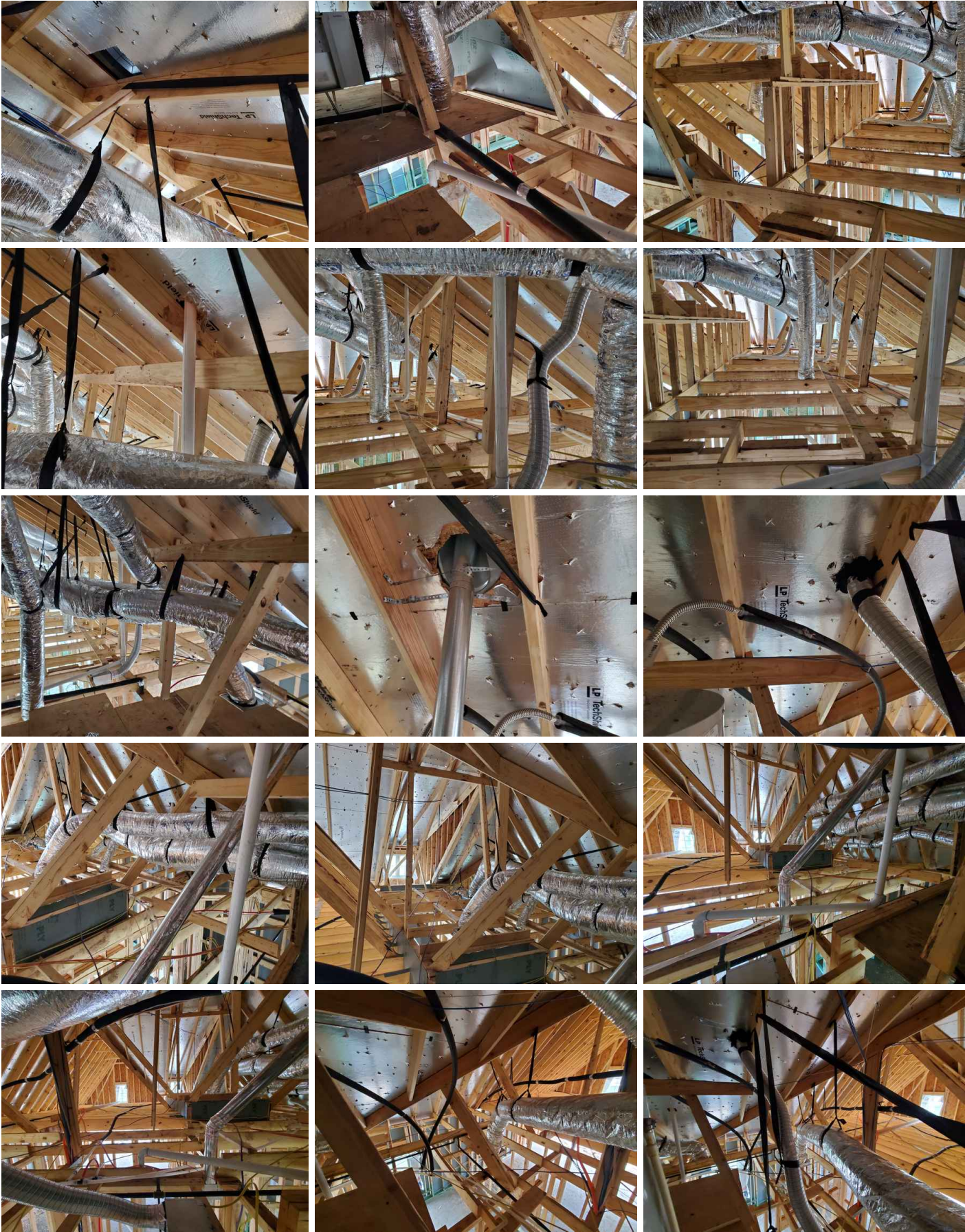






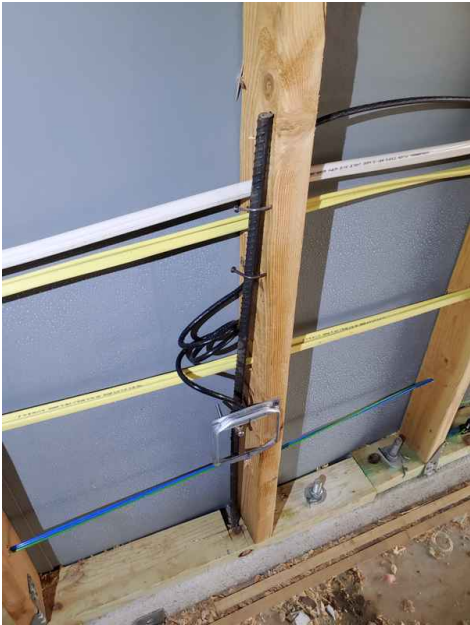


Attic Framing





Electrical Components



HVAC Components



Right Side (fresh Air Intake)

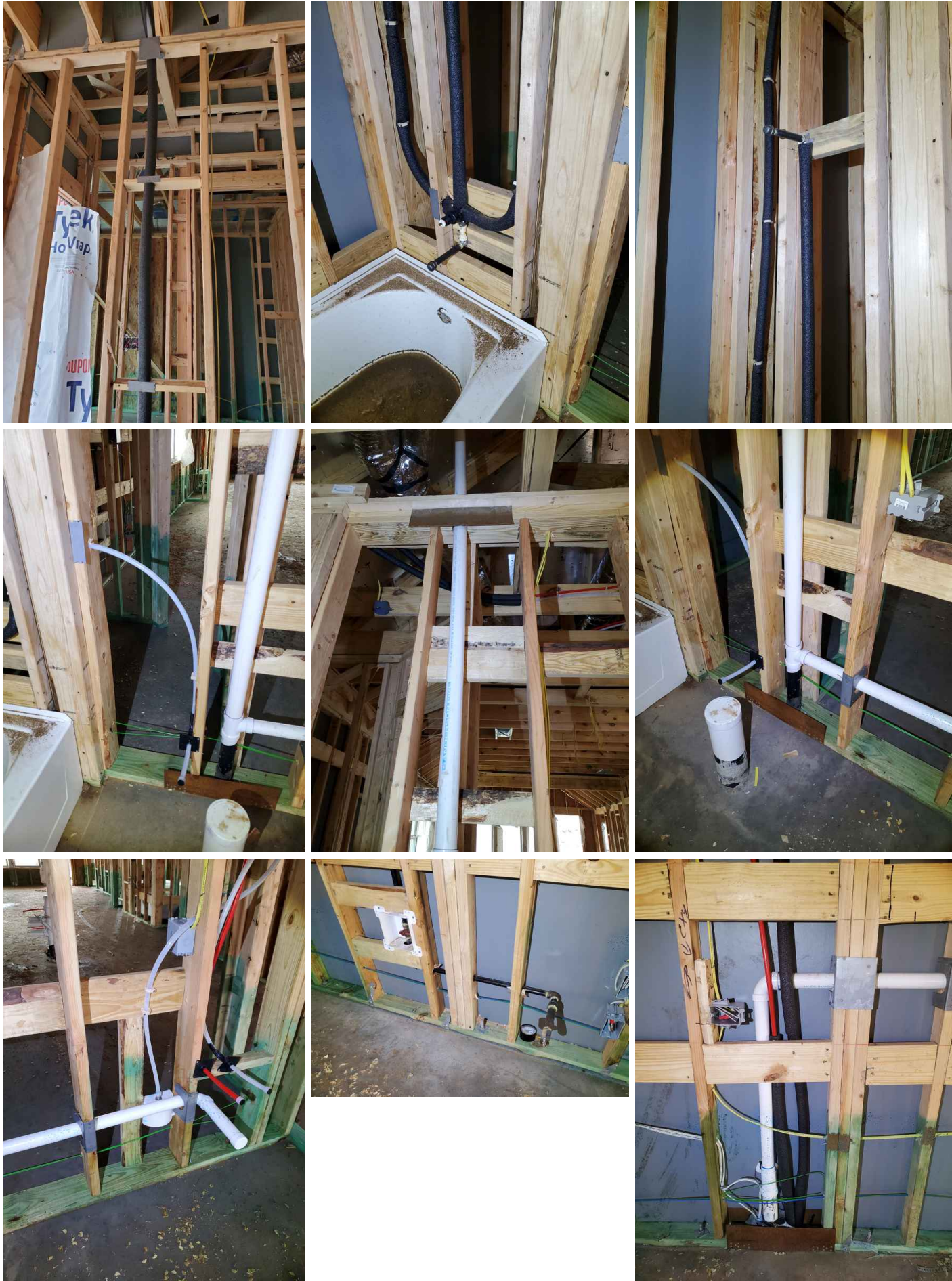






Plumbing Components









Water Heating Equipment



2: STRUCTURAL SYSTEMS

		I	A	RA	NI	NP
2.1	Foundation, Basements, and Crawlspaces	X		X		
2.2	Subfloors (Structural)					X
2.3	Walls (Structural)	X		X		
2.4	Walls (Exterior Sheathing/Cladding)	X		X		
2.5	Ceilings (Structural)	X	X			
2.6	Roof Structure and Attic	X		X		
2.7	Stairways (Interior and Exterior)					X
2.8	Windows	X	X			
2.9	Doors (Interior and exterior)	X		X		
2.10	Fireplaces					X

I = Inspected

A = Acceptable

RA = Requires Attention

NI = Not Inspected

NP = Not Present

Information

Foundation Type

Poured Concrete



Floor Construction

Concrete



Plate Anchorage Type
Bolts, Ties, Straps



Wall Construction
Wood Fram



Housewrap / Moisture Barrier type
Tyvek or Similar



Insulation type
Not Installed at the time of inspection

Roof and Ceiling Framing
Ceiling Joist, Rafters



Foundation, Basements, and Crawlspaces: Material
Slab on Grade

Roof Structure and Attic: Ventilation System
Soffit, Roof

Deficiencies

2.1.1 Foundation, Basements, and Crawlspaces

SPALLING OR FLAKING
LEFT SIDE

Spalling or flaking occurring at the concrete slab. The builder should investigate further and repair as needed.

General Repair/Maintenance



Left Side

2.1.2 Foundation, Basements, and Crawlspace

BRICK LEDGE: DAMAGED

RIGHT SIDE

Damage observed at brick ledge. Repair may be necessary to provide proper bearing of brick on brick ledge.

General Repair/Maintenance



Right Side

2.3.1 Walls (Structural)

ANCHORAGE/BOLTS: MISSING/LOOSE HARDWARE

MULTIPLE LOCATIONS

Anchor / bolts missing nuts/washers. All anchor bolts should be secured with nuts and washers flush to the bottom plate.

General Repair/Maintenance



Garage



Garage



Front Door Area (Missing)



Living Room Rear



Right Side



Right Side



Primary Bedroom



Primary Bedroom

2.3.2 Walls (Structural)

FRAMING: BOWED/TWISTED OR DAMAGED MEMBER(S)

MULTIPLE LOCATIONS

Bowed/twisted or damaged framing members observed. Block or replace as necessary.



General Repair/Maintenance



Right Side



Right Side



Living Room (Damaged)

2.4.1 Walls (Exterior Sheathing/Cladding)

SEAL EXTERIOR WALL PENETRATIONS

Tears/Holes, Plumbing Penetrations



General Repair/Maintenance



Rear (Tears/Holes)



Left Side

2.4.2 Walls (Exterior Sheathing/Cladding)

General Repair/Maintenance

SEAM TAPE IMPROPERLY INSTALLED: INCOMPLETE

LEFT SIDE

The Tape was not complete or installed properly by overlapping as per installation requirements. We recommend to inspect complete and or replace.



Left Side

2.4.3 Walls (Exterior Sheathing/Cladding)

General Repair/Maintenance

TYVEK/OR WRB: MISSING

FRONT

Observed missing Tyvek (or equivalent weather-resistive barrier) at [location, e.g., around window openings, at wall/roof intersections, over sheathing].

Proper installation is required.



2nd Floor Front

2.6.1 Roof Structure and Attic

General Repair/Maintenance

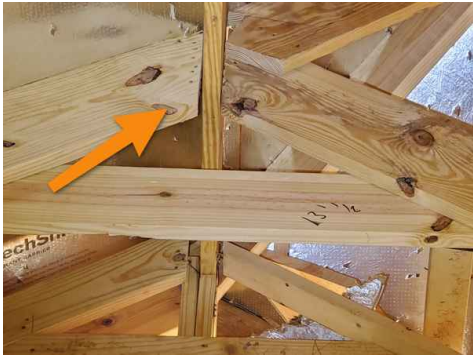
RAFTERS NOT CUT PROPERLY TO FIT FLUSH

MULTIPLE LOCATIONS

Remedy as needed.



Living Room Rear



Living Room Rear

2.9.1 Doors (Interior and exterior)

MISSING/INCOMPLETE INSTALLATION

Multiple missing doors. Remedy as needed.

 General Repair/Maintenance

3: ROOF COVERING MATERIALS

		I	A	RA	NI	NP
3.1	Roof Coverings	X		X		
3.2	Flashings	X	X			
3.3	Roof/Ceiling Structure	X	X			
3.4	Plumbing Vents/Boots, Skylights, Chimneys and Roof Penetrations	X		X		

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Information

Material

Composition Shingles



Inspection Method

Walking The Roof

Flashings: Material

Aluminum

Roof/Ceiling Structure:

Roof/Ceiling Structure


Rafters, Collar Ties, Purlins

Deficiencies

3.1.1 Roof Coverings

EXPOSED NAILS

MULTIPLE LOCATIONS

 General Repair/Maintenance

There were Exposed Nails in the roofing shingles at the time of inspection. Each exposed nail can allow water to penetrate past the roof covering given enough time. As the exposed portion of the nail rusts, more space will become available between the nail and the roofing material for water to penetrate. Caulking/mastic should be applied to prevent the nails from rust and/or leaking. We recommend to caulk and repair as necessary.

Caulking as applied will need periodic maintenance to maintain integrity of the seal.



3.1.2 Roof Coverings

MISSING/DAMAGED SHINGLES

MULTIPLE LOCATIONS

Damaged and/or missing asphalt composition shingles were noted at the time of the inspection. We recommend to replace missing/damaged shingles to avoid damage to the underlying home structure from moisture intrusion.





(Damaged)



3.4.1 Plumbing Vents/Boots, Skylights, Chimneys and Roof Penetrations

 General Repair/Maintenance

CRACKED/DAMAGED OR INVERTED PLUMBING VENT BOOT

The boot for the plumbing vent is cracked/damaged or invisible neoprene boot should be fixed or replaced.



Inverted Neoprene Boot

4: ELECTRICAL

		I	A	RA	NI	NP
4.1	Branch Circuits and Wiring	X		X		

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Information

Distribution Wire: Material and Type

Copper - ROMEX or other nonmetallic sheathed



Deficiencies

4.1.1 Branch Circuits and Wiring

NAIL PROTECTION PLATES MISSING

MULTIPLE LOCATIONS

Nail protection plates help prevent nails from piercing pipes and electrical lines after the drywall is installed. Nail protection plates are typically installed over utilities that pass within 1.25-inches from the edge of the stud. Evaluate and remedy as needed.

General Repair/Maintenance



Garage



Garage



Garage



Kitchen

4.1.2 Branch Circuits and Wiring

ELECTRICAL DISTRIBUTION PANEL

GARAGE

The electrical box is currently uncovered. This is a safety hazard and must be addressed. A proper cover plate must be installed.

 General Repair/Maintenance



5: MECHANICAL

		I	A	RA	NI	NP
5.1	Heating Information	X	X			
5.2	Cooling Equipment	X			X	X
5.3	Venting Duct Work	X	X			

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Information

Heating System Type
Furnace



Air Conditioning System Type
Central air

HVAC Distribution
Ducts and Registers



Deficiencies

5.1.1 Heating Information
GAS LINE NOT CONNECTED TO FURNACE
The gas line was not connected to furnace at the time of the inspection.

Primary Repair

5.2.1 Cooling Equipment
REFRIGERANT LINES ARE NOT YET CONNECTED
The refrigerant lines for the cooling system were not completely installed at the time of inspection.

Primary Repair

6: PLUMBING

		I	A	RA	NI	NP
6.1	Water Supply/Distribution	X	X			
6.2	Drain, Waste, & Vent	X	X			
6.3	Fuel Storage & Venting Systems	X		X		

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Information

Supply Piping in Building
Pex



Water Heater Quantity
1

Water Heater Location
Attic

Water Heater Capacity
50 gallons



Fuel Storage & Venting Systems:
Main Gas Shut-off Location
Gas Meter

Deficiencies

6.3.1 Fuel Storage & Venting Systems

NAIL PROTECTION PLATES MISSING

LAUNDRY AREA

Nail protection plates help prevent nails from piercing pipes and electrical lines after the drywall is installed. Nail protection plates are typically installed over utilities that pass within 1.25-inches from the edge of the stud. Evaluate and remedy as needed.

General Repair/Maintenance



Laundry Area